



To: Potential Bidders

From: WAS Design, Inc.
256 Wacker Ln. North
Mobile, Alabama 36608
251-344-4023

Re: Crawford-Murphy Park and Stotts Park Pickleball Courts
Project No: PR-035-23/PR-047-23

This Addendum forms a part of, and modifies, the Contract Documents for the above referenced project. Acknowledge the receipt of this Addendum and all subsequent Addenda, if any, in the space provided on the Bid Form. Failure to do so may subject Bidder to disqualification.

Addendum No. 2 – Nov. 20, 2023

- Item No. 1: Pre-Bid Conference Attendance Roster
- Item No. 2: Minutes of Pre-Bid Conference **with Modifications**
- Item No. 3: Plexipave, DecoColor, Acrylic Color Court Surfacing System submitted by ICP Building Solutions Group phogan@ICPgroup.com has been approved as a substitution to the specified Acrylic Color Court Surfacing System.
- Item No. 4: Delta 1 Addenda 2 Drawings Attached
Crawford - Murphy Park New Pickleball & Tennis Courts Adjusted Drawings
CS100 Cover Sheet
BM100 Best Management Practices
Stotts Park Pickleball Courts Adjusted Drawings
CS100 Cover Sheet
ER100 Erosion Control Plan



ATTENDANCE ROSTER

MEETING		PROJECT	LOCATION	DATE	
Pre-Bid Conference		Crawford-Murphy & Stotts Park – Tennis & Pickleball Courts	351 South Ann Street, Mobile, AL 36604 & 2150 Demetropolis Road, Mobile, AL 36693	2023-11-16	
PR-073-22 & PR-041-22					
NAME	ORGANIZATION	PHONE	FAX	CELL PHONE	E-MAIL
Shannon McIntyre	City of Mobile, A/E Department	251-208-7635	251-208-5871	251-508-7752	shannon.mcintyre@cityofmobile.org
James Crowe	WAS Design, LLC	251-604-8199			jcrowe@was-design.com
<i>JEFF NICHOLS</i>	<i>AMERICAN TENNIS COURTS</i>	<i>251-585-7264</i>			<i>JEFF@AMERICANSTENNISCOURTS.COM</i>
<i>Chris</i>					

Crawford-Murphy Park – New Pickleball and Tennis Courts
351 South Ann Street, Mobile, AL 36604
PR-035-23

and

Stotts Park – New Pickleball Courts
2150 Demetropolis Road, Mobile, AL 36693
PR-047-23

PRE-BID CONFERENCE

1:30 pm November 16, 2023

AGENDA with MODIFICATIONS

1. **Attendance roster.** Include a contact person and an e-mail address where any Addenda should be sent. Please write legibly.
2. **Introductions** – Project Manager and Owner Contacts.
3. **Discussion of Scope of Work.**
 - a. Discuss scope.
Base Bid:
 - A. Crawford-Murphy Park Summary of Work: Existing courts to be demolished. Furnish and install the necessary materials, labor, equipment, and appurtenances for the following items:
 1. Base Bid – Principal features of improvements include (4) asphalt pickleball courts, (2) asphalt tennis courts, fencing, security lighting, concrete sidewalks and pavement, concrete ribbon curb, site grading/drainage, shelter, sodding, and site amenities. **Project access will be from Ann St.**
 2. Add Alt. No 1- Furnish and install Musco lighting system including controller, fixtures, poles and all associated hardware.
 - B. Stotts Park Summary of Work: Existing **concrete** courts **and lighting** to be demolished. Furnish and install the necessary materials, labor, equipment, and appurtenances for the following items:
 1. Base Bid – Principal features of improvements include (4) asphalt pickleball courts, fencing, concrete sidewalks and pavement, concrete ribbon curb, site grading/drainage, shelter, and sodding.
 2. Add Alt. No 1- Furnish and install Musco lighting system including controller, fixtures, poles and all associated hardware.
 - All construction sites for City of Mobile projects shall be undertaken in accordance with the Clean Water Act; the Alabama Water Pollution Control act; the current version of the Alabama Handbook for Erosion Control, Sediment Control and Stormwater Management on Construction Sites and Urban Areas; and the current version of the Mobile, Alabama City Code Chapter 17 Stormwater Management and Flood Control.
 - b. Protect all existing non-moveable items through the course of construction. Verify with Project Manager if non-moveable item conflicts with work areas. **No storage of materials and parking is allowed under canopy of existing live oak at Crawford-Murphy Park.**

4. Special Instructions or conditions.

- a. Contractors are to confirm with the Alabama Licensing Board for General Contractors that they hold the required Contractor's License to Bid this project. Contractors found to have illegally bid this project may be subjected to fines by the Alabama Licensing Board for General Contractors and possible rejection of Bid.
- b. Contractor shall provide sanitary facilities on site at an approved location, **if needed.**
- c. Contractor may utilize, without cost, the water and electricity, if it's available at the site.
- d. City of Mobile permits are required for the construction, but are available without cost to the Contractor. General Contractor shall have a current \$10,000 Surety Bond on file with the City of Mobile Permitting Division prior to issuance of permits and throughout the contract duration.
- e. Remove waste and surplus materials, rubbish, and construction facilities from the site. Contractor may provide a dumpster and shall coordinate placement with the Project Manager.
- f. Contractor shall coordinate schedule for work and access to the project site with the Project Manager. Contractor is cautioned that the park will remain in use. Maintain a safe and secure job site. A construction fence shall always be maintained around the perimeter of the Work area.
- g. Any observed discrepancies, omissions or errors in any part of the contract documents shall be submitted as written RFIs to James Crowe at Jcrowe@was-design.com.
- h. Cut off time for submission of RFIs is 3:00 PM, at least Five (5) calendar days prior to the Bid Opening.
- i. Submissions for substitutions shall be submitted no later than Five (5) calendar days prior to Bid opening. All submitted information shall include detailed comparisons of all characteristics of the Basis of Design product.
- j. Official clarifications, corrections or acceptance of substitutions will be made by written addendum **posted on City website.**
- k. Work hours are acceptable as correspond to the site hours, generally dusk to dawn, seven days a week, unless other time(s)/day(s) are coordinated with the Owner and agreed upon in advance.
- l. **Contractors bid should include cost to replace damaged concrete walks and paving caused by construction activities.**

5. Bidding instructions, forms, special requirements and time.

- a. Bid Date is Wednesday, December 6, 2023.
- b. Bid Form with Bid Security, in the form of a Bid Bond or Bid Check is required.
- c. Use of \$50,000.00 Contingency Allowance for Crawford- Murphy Park and Use of \$25,000.00 Contingency Allowance for Stotts Park shall be reviewed and approved by the Owner. Any remaining contingency will be returned to the City of Mobile via Change Order.
- d. This is a tax exempt project.
- e. Contractor shall provide an appropriately completed copy of the "City of Mobile Subcontracting and Major Supplier Plan" in the envelope with their Bid Form. Form shall document DBE Subcontractors participating in the project and, should the total % of DBE participation not meet the 15% minimum, all efforts to obtain DBE Subcontractors shall be documented on or attached to the DBE Form when submitted.

- f. Liquidated Damages shall be assessed at a rate of \$250 per calendar day. See project manual for detailed information.

6. Additional Requirements at time of Contract execution:

- a. A valid City of Mobile business license for the duration of the contract period
- b. E-verify Documentation: The Beason-Hammond Taxpayer Protection Act applies to this project. Contractor shall comply with the requirements of this Act and show proof of enrollment in the E-verify program by submitting the electronically generated Federal E-verify document prior to signing of the construction contract. (see Project Manual)
- c. A Performance Bond and Labor & Material Payment Bond is required. (see Project Manual) **One (1) bond for both parks is acceptable.**
- d. Certificate of Insurance in amounts and with endorsements as required by the City of Mobile. (see Project Manual)
- e. Current W-9 form and City of Mobile Vendor Information Form, if same has not been submitted within the last four months. (see Project Manual)
- f. DBE Utilization Report. (see Project Manual)
- g. All of the above MUST be correctly completed and returned to the Project Manager within ten (10) calendar days of Contractor receiving the contract agreement.
- h. Contractor will be required to submit all Pay Applications, Submittals to be reviewed, and email correspondence through E-Builder Project Management Software (at no cost to the Contractor).

7. Payment requirements.

- a. Retainage withheld at 5% of the first 50% of Construction Completed until the amount equals 2.5% of the full contract amount.
- b. The final 2.5% of the full contract amount is withheld as retainage until all close out requirements are met, proof of advertisement, warranties, Consent of Surety and release of liens, etc. By State of Alabama Law, notice of final completion of the contract shall be published in a local newspaper of general circulation.

8. PM/Owner/City of Mobile/Engineer contacts and phone numbers:

- Shannon McIntyre: 251-508-7752 (Project Manager)
- James Crowe: 251-604-8199

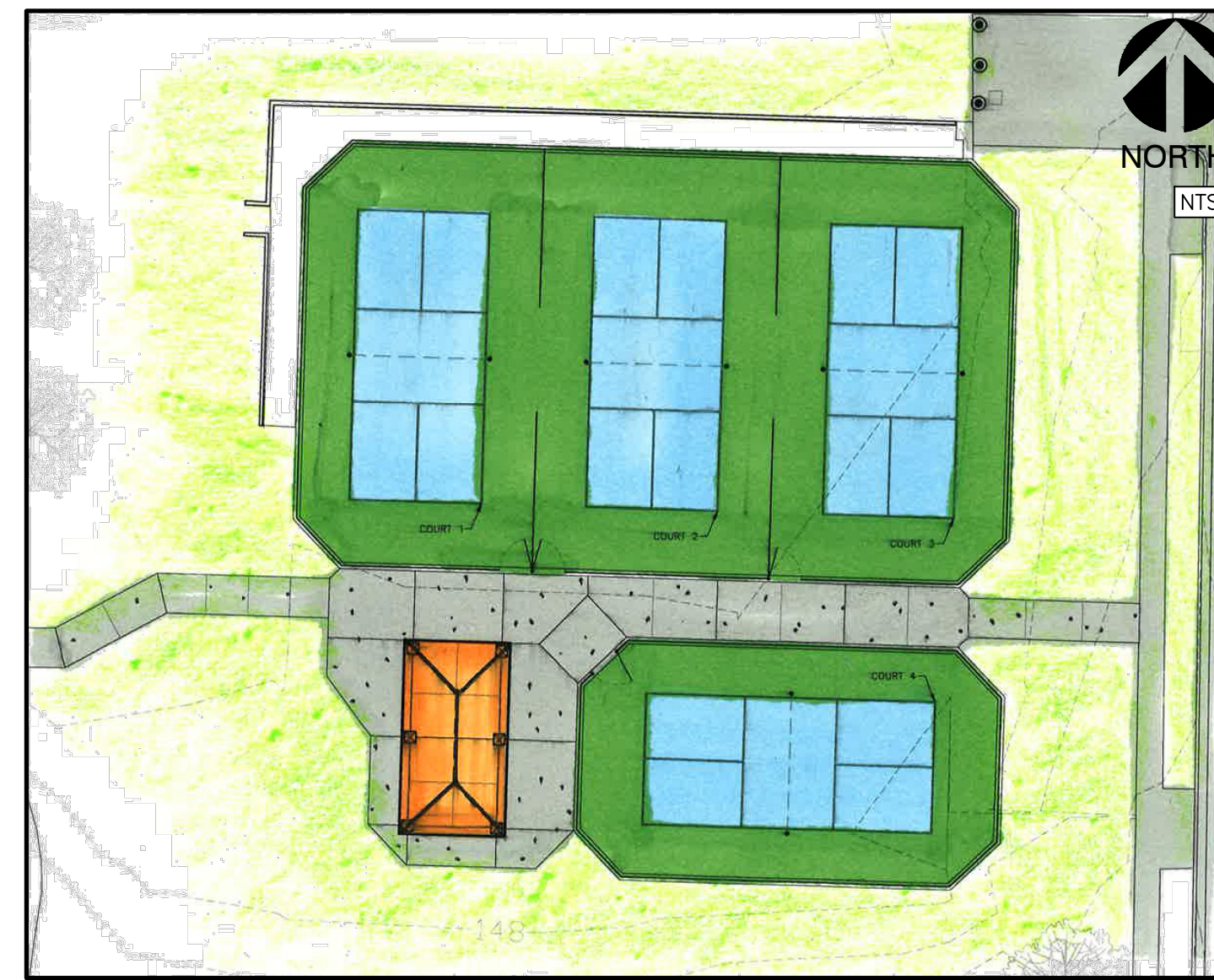
9. Walk of Site and Adjourn

A Landscape Development Plan for Stotts Park Pickleball Courts

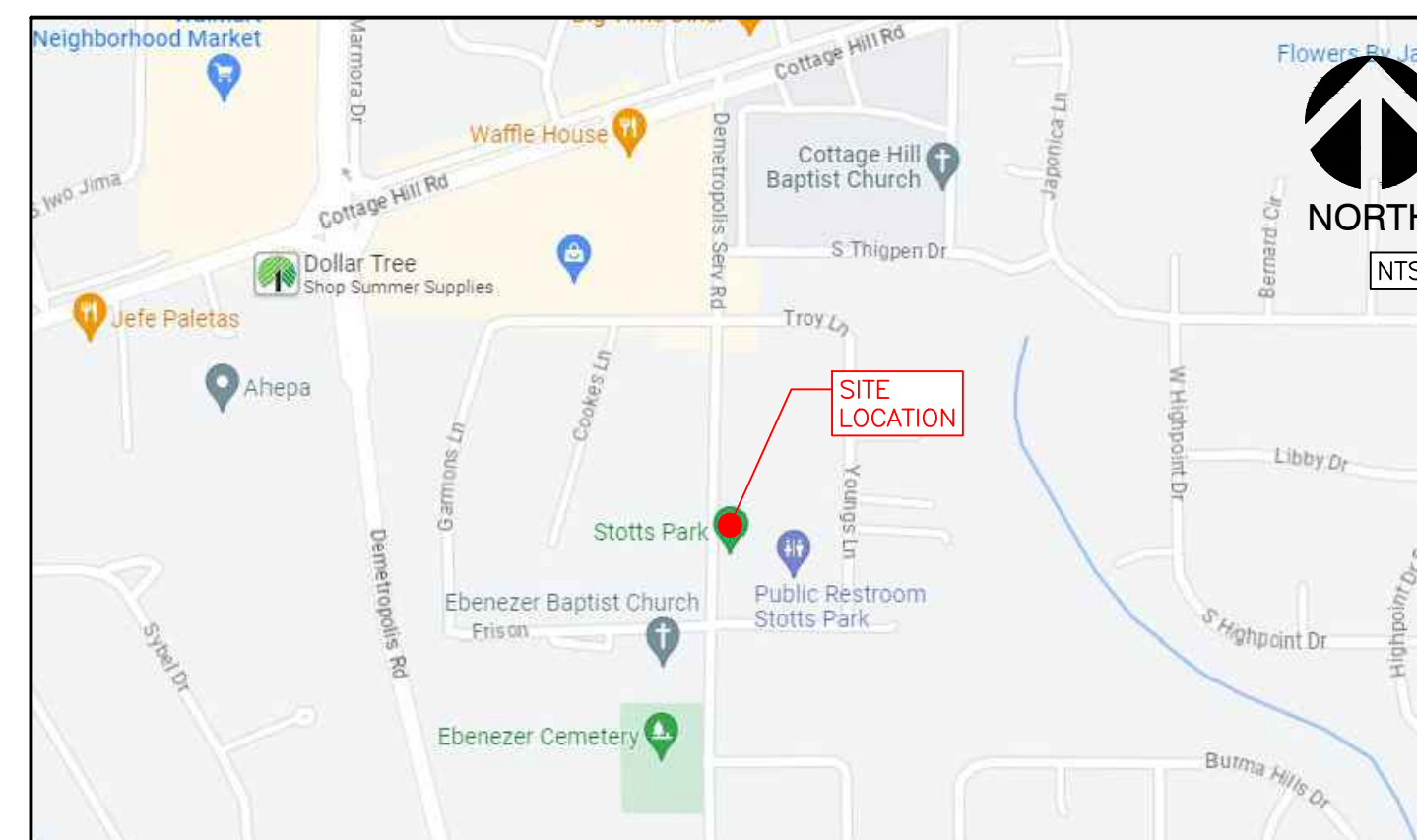
PR-047-23 Mobile, Alabama

Prepared for
City of Mobile
Mobile, AL.

Prepared by



Sheet List Table	
Sheet Number	Sheet Title
CS100	COVER SHEET
EC100	EXISTING CONDITIONS
LS010	OVERALL SITE PLAN
LD100	DEMOLITION PLAN
ER100	EROSION CONTROL PLAN
LS100	SITE PLAN
LG100	LANDSCAPE GRADING PLAN
LH100	HARDSCAPE PLAN
LH500	HARDSCAPE DETAILS
LH501	HARDSCAPE DETAILS
LH502	HARDSCAPE DETAILS
LH503	HARDSCAPE DETAILS
E100	ELECTRICAL LEGEND AND SPECIFICATIONS
E200	EXISTING OVERALL PLAN - ELECTRICAL
E201	ENLARGED EXISTING PLAN - ELECTRICAL
E300	NEW WORK OVERALL PLAN - ELECTRICAL
E301	ENLARGED NEW WORK PLAN - ELECTRICAL
E400	ELECTRICAL DETAILS
E401	ELECTRICAL DETAILS



SITE LOCATION MAP

ABBREVIATION LEGEND			
ALUM	ALUMINUM	LP	LOW POINT
AC	ACRES	LT	LEFT
ACCMP	ASPHALT-COATED CORRUGATED METAL PIPE	LIN	LINER
ACP	ASBESTOS CEMENT PIPE	LF	LINEAR FEET
APPROX	APPROXIMATE(LY)	LC	LANDSCAPE CONTRACTOR
B&B	BALLED AND BURLAPPED	LA	LANDSCAPE ARCHITECT
BC	BOTTOM OF CURB	M	METER
BIT	BITUMINOUS	MAX	MAXIMUM
BM	BENCHMARK	MH	MANHOLE
BLDG	BUILDING	MIN	MINIMUM
BS	BOTTOM OF SLOPE	MISC	MISCELLANEOUS
BVC	BEGINNING OF VERTICAL CURVE	MON	MONUMENT
BW	BOTH WAYS	N	NORTH
CAL	CALIPER	NIC	NOT IN CONTRACT
CB	CATCH BASIN	NTS	NOT TO SCALE
CI	CAST IRON	NO	NUMBER
CIR	CIRCULAR	NOM	NOMINAL DIMENSION
CL	CENTERLINE	OC	ON CENTER
CLF	CHAIN-LINK FENCE	OD	OUTSIDE DIAMETER
CO	CLEANOUT	PA	PLANTING AREA
CM	CENTIMETER	PCP	POROUS CONCRETE PIPE
CMP	CORRUGATED METAL PIPE	PVC	POLYVINYL CHLORIDE PIPE
COL	COLUMN	PC	POINT OF CURVATURE
CONC	CONCRETE	PCC	POINT OF COMPOUND CURVATURE
CONTR	CONTRACTOR	PL	PROPERTY LINE
COR	CORNER	P-VC	POINT OF VERTICAL CURVATURE
C/S	CROSS SLOPE	PVT	POINT OF VERTICAL TANGENT
C/W	CONNECTED WITH	PT	POINT OF TANGENT
CF	CUBIC FEET	R	RADIUS
CY	CUBIC YARD	RCP	REINFORCED CONCRETE PIPE
D	DEGREE OF CURVATURE	ROW	RIGHT OF WAY
DETL	DETAIL	RT	RIGHT
DMH	DROP MANHOLE	REQD	REQUIRED
DF	DRINKING FOUNTAIN	REV	REVISION
DIM	DIMENSION	REINF	REINFORCED
DIA	DIAMETER	SAN	SANITARY
DWG	DRAWING	SECT	SECTION
DEP	DEPARTURE	SH	SHEET
DIR	DIRECTED	S	SOUTH
-E-	ELECTRICAL	SI	STORM INLET
E	EAST	-ST-	STORM SEWER
EA	EACH	-SAN-	SANITARY SEWER
EC	ELECTRICAL CONTRACTOR	SPEC	SPECIFICATIONS OR SPECIFIED
EL	ELEVATION	ST'L	STEEL
EAP	EXPOSED AGGREGATE PAVING	SQ	SQUARE
EVC	END OF VERTICAL CURVE	SF	SQUARE FOOT
ENGR	ENGINEER	SY	SQUARE YARD
EX	EXISTING	STA	STATION
EXP	EXPANSION	S/S	STAINLESS STEEL
EW	END WALL	-T-	TELEPHONE
ES	END SECTION	T	TANGENT
FFE	FINISHED FLOOR ELEVATION	TC	TOP OF CURB
FG	FINISHED GRADE	TE	TAPERED END
FIN	FINISH	T&G	TERRA-COTTA PIPE TONGUE AND GROOVE
FL	FLOOR	TW	TOP OF WALL
FH	FIRE HYDRANT	TS	TOP OF SLOPE
FL	FLOW LINE	TWP	TOWNSHIP
FSD	FULL-SIZED DETAIL	TYP	TYPICAL
FTG	FOOTING	UD	UNDERDRAIN
FT	FOOT OR FEET	USGS	US GEOLOGICAL SURVEY
GA	GAUGE	VC	VERTICAL CURVE
-G-	GAS	VAR	VARIES, VARIABLE
GAL	GALLON	VERT	VERTICAL
GALV	GALVANIZED	VCP	VITRIFIED CLAY PIPE
GC	GENERAL CONTRACTOR	-W-	WATER
GR	GUARD RAIL	W	WEST
GD	GRADE	W/	WITH
GV	GAS VALVE	W/O	WITHOUT
HB	HOSE BIB	WWM	WOVEN WIRE MESH
HW	HEAD WALL	WV	WATER VALVE
HP	HIGH POINT	YD	YARD DRAIN
HT	HEIGHT	Ø	ROUND DIAMETER
HOR	HORIZONTAL	@	AT
HWY	HIGHWAY	'	FEET
ID	INSIDE DIAMETER	#	INCHES
IN	INCH	#1	NUMBER
INL	INLET	1#	POUND
INV	INVERT		
JB	JUNCTION BOX		
L	LENGTH OF CURVE		
LAT	LATITUDE		

CONSTRUCTION LAYOUT NOTES

SURVEYOR TO CONTACT LANDSCAPE ARCHITECT FOR AUTOCAD FILE FOR HARDSCAPE LAYOUT.
CONTRACTOR TO PROVIDE STAKING OF HARDSCAPE ELEMENTS AS REQUIRED FOR WORK.
CONTACT LANDSCAPE ARCHITECT FOR REVIEW OF LOCATIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION.

PROJECT SUMMARY

THE PROJECT DESCRIBED WITHIN THESE DRAWINGS AND THE ACCOMPANYING PROJECT MANUAL IS A LANDSCAPE DEVELOPMENT PROJECT THAT COVERS WORK DESCRIBED AS:

- SITE: FITNESS TRAIL W/ EQUIPMENT
- GRADING: ADA ACCESSIBLE AMENITIES AND PATHWAYS
- UTILITIES: AS REQUIRED FOR PROPER FUNCTION OF SITE DESIGN
- HARDSCAPE: CONCRETE AND PAVER PEDESTRIAN PAVING; RIBBON CURBS
- RECREATION AREA: IMPACT MATERIALS; STAIRS; BOLLARDS/BARRIERS
- FURNITURE: FITNESS EQUIPMENT; BENCHES; DRINKING FOUNTAIN

THIS PROJECT WILL BE COMPETITIVELY BID WITH THE OWNER DETERMINING THE WINNING SUBCONTRACTOR AT HIS SOLE DISCRETION. THE CONTRACT AMOUNT SHALL BE BASED UPON A STIPULATED SUM THAT IS INDICATED ON THE PROJECT'S BID FORM. THE WORK AGREEMENT SHALL BE BETWEEN THE CONTRACTOR AND THE PROJECT OWNER. THE OWNER HAS RETAINED THE SERVICES OF WAS DESIGN, INC. TO ASSIST IN CONSTRUCTION OBSERVATION AND CONTRACT ADMINISTRATION.

800-292-8525
#DIG (Cellular)
Dig Safely.



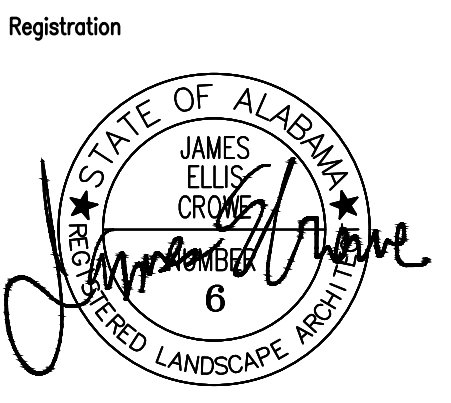
NOT FOR CONSTRUCTION
THESE PLANS HAVE NOT BEEN APPROVED AND ARE SUBJECT TO CHANGE.

A Landscape Development Plan for
**Stotts Park
Pickleball Courts**
PR-047-23 Mobile, Alabama

Revisions		
No.	Date	Revisions / Submissions
	08.31.23	90% CLIENT REVIEW
	11.09.23	100% CD
1	11.13.23	ADDENDUM 2

© Copyright 2023 WAS Design Inc. These documents and their contents are the property of WAS Design. Any reproductions, revisions, modifications or use of these documents without the express written consent of WAS Design is prohibited by law.

KWP	Registration
Drawn	
DCT	
Project Manager	
JEC	
Principal	
236010-031	
Project No.	
08.03.23	
Date	



Sheet Title

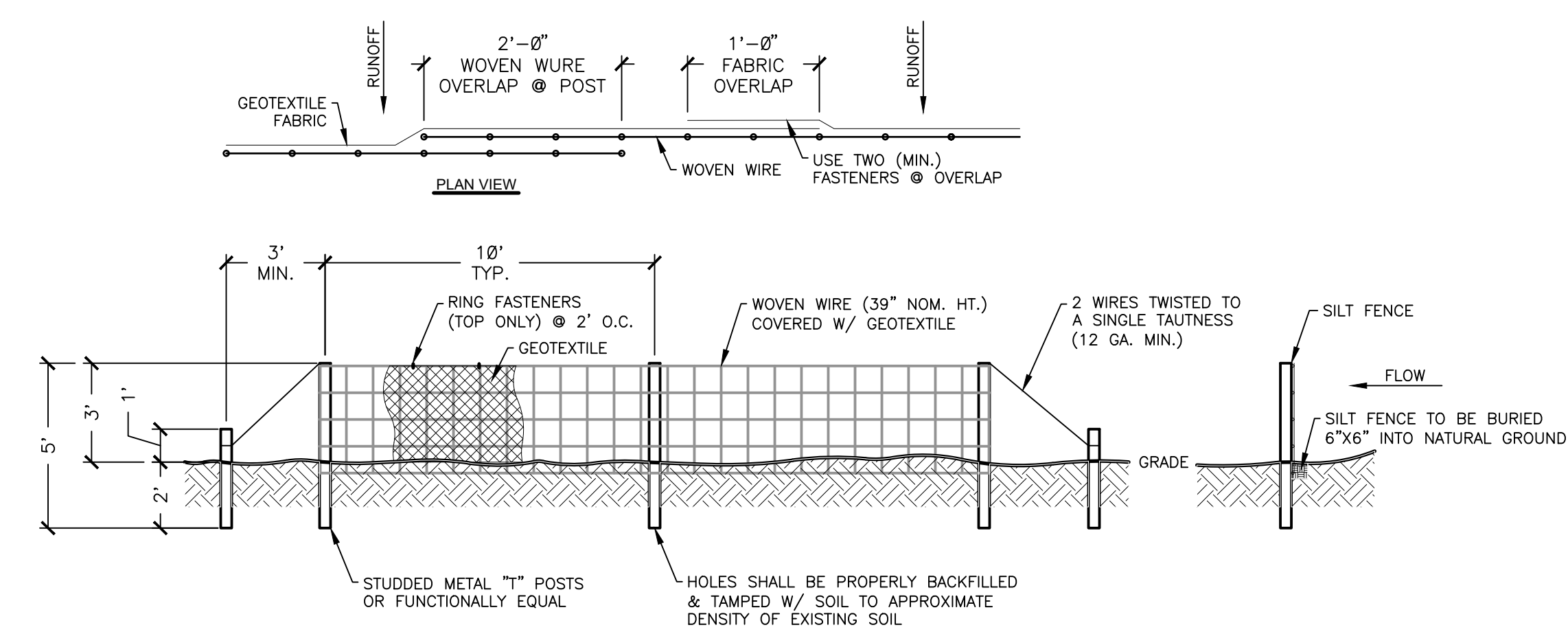
COVER SHEET

Sheet No.

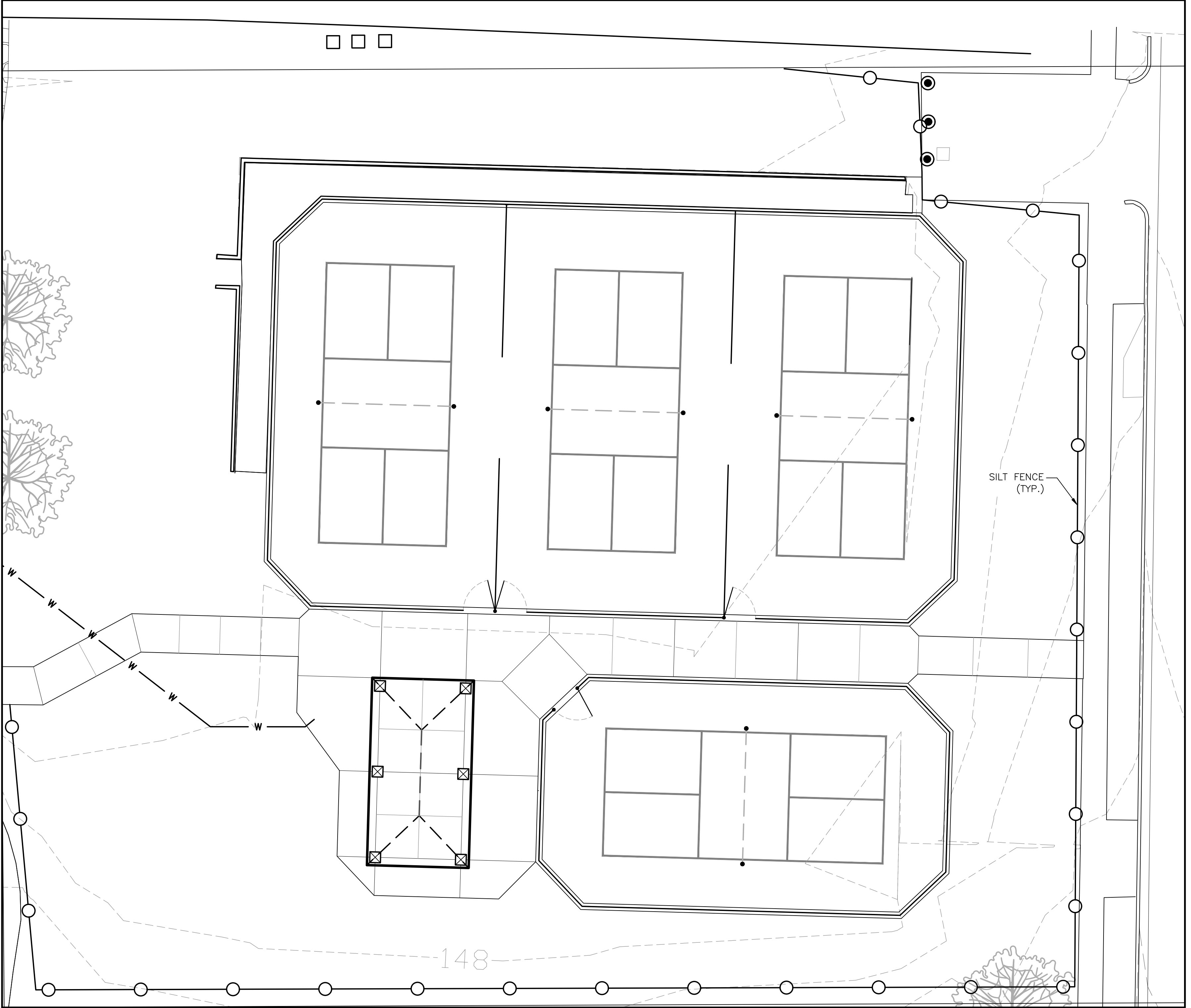
CS100

NOT
FOR CONSTRUCTION
THESE PLANS HAVE NOT BEEN
APPROVED AND ARE SUBJECT
TO CHANGE.

A Landscape Development Plan for
Stotts Park
Pickleball Courts
PR-047-23 Mobile, Alabama



1 HEAVY DUTY SILT FENCE
1/4" = 1'-0"
P-MU-129



1 EROSION CONTROL PLAN
Scale: 1"=10'
0 10 20

GENERAL NOTES

CONTRACTOR TO COORDINATE ALL WORK AS REQUIRED WITH THE UTILITY COMPANY AND SHALL INCLUDE ALL REQUIRED ASSOCIATED FEES IN THE BASE BID.

ALL DISTURBED AREAS NOT NOTED AS TO BE SODDED SHALL BE SODDED W/CENTPEDE SOD.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTING AND MAINTAINING ANY AND ALL NECESSARY ENVIRONMENTAL CONTROL MEASURES IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL LAWS AND REQUIREMENTS. THIS INCLUDES PROTECTION FROM CONCRETE SURFACE PREPARATIONS, EROSION AND SEDIMENT CONTROLS, AS WELL AS A RESULT FROM ANY OTHER CONSTRUCTION RELATED ACTIVITIES.

THE CONTRACTOR SHALL PROVIDE, INSTALL, AND MAINTAIN ALL TEMPORARY EROSION CONTROL MEASURES SHOWN ON THE DRAWINGS. WATLES, HAY BALES, SILT FENCES AND OTHER APPROVED EROSION CONTROL DEVICES SHALL BE INSTALLED BY THE CONTRACTOR AND SHALL BE MAINTAINED THROUGHOUT THE COURSE OF THIS PROJECT. ADJUSTMENTS TO THE METHODS AND TYPES OF EROSION CONTROL WILL BE NECESSARY DURING THE CONSTRUCTION, AND IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE, INSTALL AND MAINTAIN THESE AS WELL. THE ARCHITECT SHALL APPROVE METHODS OF EROSION CONTROL. IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO SATISFY THEMSELVES THAT ALL FEDERAL, STATE AND LOCAL CODES AND ORDINANCES ARE ABIDED BY AT ALL TIMES DURING CONSTRUCTION. ADDITIONALLY, THE CONTRACTOR SHALL IMPLEMENT ANY AND ALL OTHER BEST MANAGEMENT PRACTICES APPLICABLE PER FEDERAL, STATE, COUNTY AND MUNICIPAL LAWS CONCERNING WATER POLLUTION.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTING ALL EROSION CONTROL BMPS AND FOR ALL SEDIMENT WITHIN AND LEAVING THE CONSTRUCTION SITE UNTIL THE PROJECT IS ACCEPTED BY THE ARCHITECT. SEVERE PENALTIES MAY BE IMPOSED TO ENSURE COMPLIANCE.

ALL PROJECTS AND CONSTRUCTION SITES SHALL BE IN ACCORDANCE WITH THE CLEAN WATER ACT; THE ALABAMA WATER POLLUTION CONTROL ACT; THE CURRENT VERSION OF THE ALABAMA HANDBOOK FOR EROSION CONTROL, SEDIMENT CONTROL AND STORMWATER MANAGEMENT ON CONSTRUCTION SITES AND URBAN AREAS.

ANY FINES, PENALTIES, OR JUDGMENTS ACCESSED TO THE CLIENT, ITS AGENTS OR REPRESENTATIVES DUE TO INADEQUATELY INSTALLED OR MAINTAINED EROSION CONTROL SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE ARCHITECT, ENGINEER, THE CLIENT, ITS AGENTS, OR REPRESENTATIVES FROM ALL CLAIMS RESULTING, ALL OR IN PART, FROM INADEQUATELY INSTALLED OR MAINTAINED EROSION CONTROLS.

- The contractor shall notify the City of Mobile Engineering Permitting Department via email at land.disturbance@cityofmobile.org a minimum of 24 hours prior to beginning any work on the site for assignment of the City Engineering inspector and to schedule an initial on-site BMP inspection. Failure to contact the City Engineering department prior to beginning any work is a violation of the Storm Water Management and Flood Control Ordinance and may invoke enforcement action in the form of a Municipal Offense Ticket.
- The Land Disturbance Permit shall expire upon the completion of the work or not later than one (1) year from the date of approval. (COM Ordinance Ch. 17-6.A)
- The Contractor shall size, install, and maintain adequate controls for the site. Refer to the Alabama Handbook for Erosion Control, Sediment Control and Stormwater Management on Construction Sites and Urban Areas, latest edition.
- The contractor is responsible for daily inspection and continued maintenance of erosion control elements.
- The contractor shall work to minimize disturbed areas on the site as much as practically possible. Any disturbed area(s) shall not remain denuded longer than **10 days**.
- If the disturbed area increases during construction (i.e. the existing asphalt pavement is removed instead of overlaid) to over 1 acre, then work shall stop until an ADEM General Construction Permit and a City of Mobile TIER 1 Land Disturbance Permit is obtained and approved.
- Upon project completion, an as-built acceptance package shall be submitted to the City of Mobile including:
 - Engineer's As-built Certification for Commercial and Residential Site Work
 - Two (2) hardcopies and PDF of the **AS-BUILT** plans
 - CAD (DXF, DWG, or DGN) or GIS (SHP) file of the **AS-BUILT** plans showing all drainage and/or utility installations constructed correctly referenced to NAD83 Alabama State Plane Coordinate System (West Zone) in U.S. Survey feet OR in a format approved by the Engineering and GIS department compatible with the City of Mobile GIS system.

Revisions

No.	Date	Revisions / Submissions
	08.31.23	90% CLIENT REVIEW
	11.09.23	100% CD
1	11.13.23	ADDENDUM 2

© Copyright 2023 WAS Design Inc. These documents and their contents are the property of WAS Design. Any reproductions, revisions, modifications or use of these documents without the express written consent of WAS Design is prohibited by law.

KWP Registration
Drawn
DCT
Project Manager
JEC
Principal
236010-031
Project No.
08.03.23
Date

STATE OF ALABAMA
JAMES ELLIS CROW
Principal
6
REGISTERED LANDSCAPE ARCHITECT

Sheet Title

EROSION CONTROL PLAN

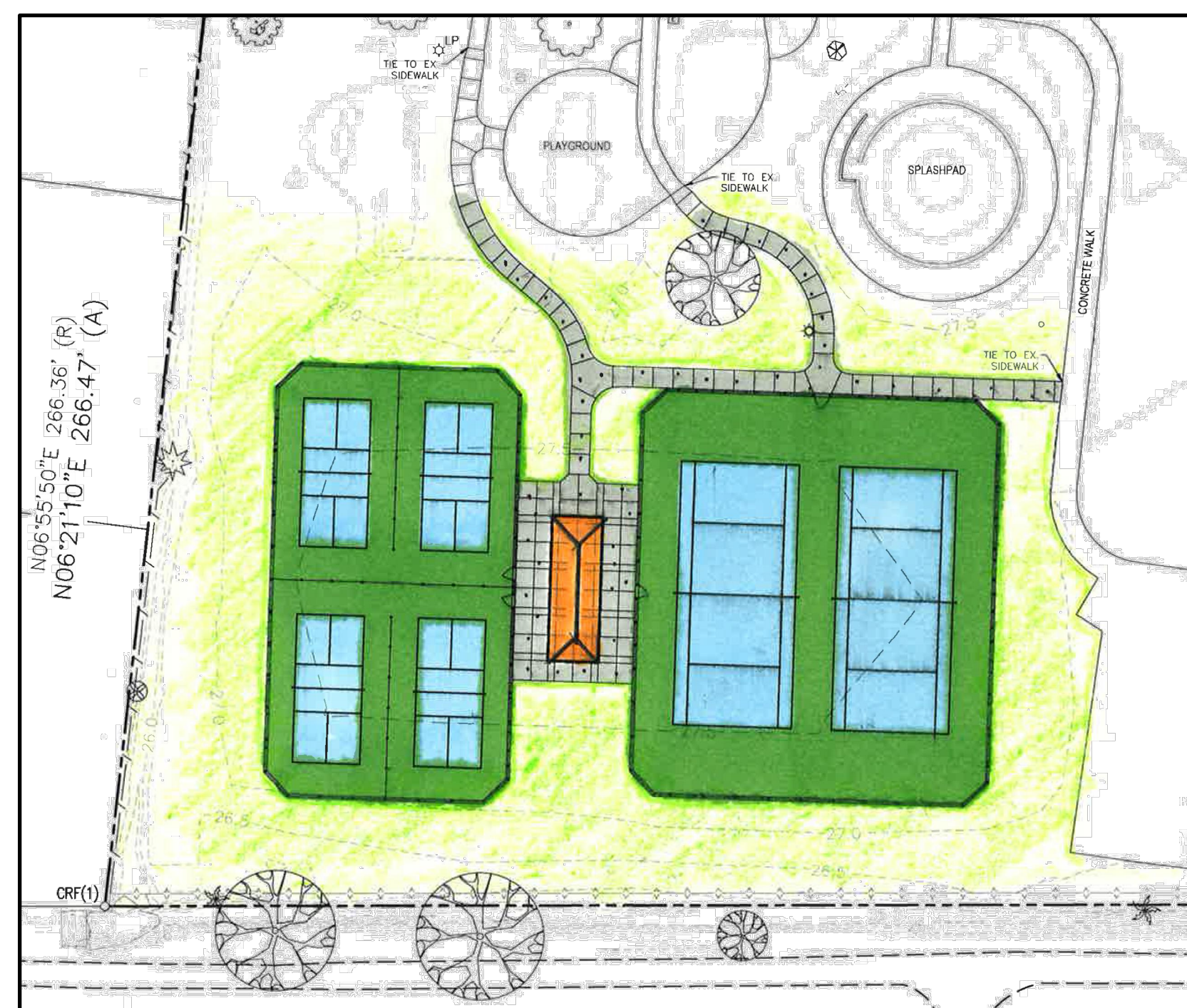
Sheet No.
ER100

A Landscape Development Plan for Crawford-Murphy Park New Pickleball & Tennis Courts

PR-035-23 Mobile, Alabama

Prepared for
City of Mobile
Mobile, Alabama

Prepared by



PROJECT SUMMARY

THE PROJECT DESCRIBED ON THIS DRAWING IS A LANDSCAPE DEVELOPMENT PROJECT THAT COVERS WORK DESCRIBED AS:

- SITE: PICKLEBALL COURTS; PAVILION; PEDESTRIAN PAVING; FURNITURE; BENCHES; DRINKING FOUNTAIN; TRASH RECEPTACLE.
- UTILITIES: STORMWATER/DRAINAGE; SITE ELECTRICAL/LIGHTING; WATER (DRINKING FOUNTAIN).
- GRADING: ADA ACCESSIBLE AMENITIES AND CIRCULATION; STORMWATER/DRAINAGE.

WORK WILL BE COMPETITIVELY BID WITH THE OWNER DETERMINING THE WINNING SUBCONTRACTOR AT THEIR SOLE DISCRETION. THE CONTRACT AMOUNT SHALL BE BASED UPON A STIPULATED SUM THAT IS INDICATED ON THE PROJECT'S BID FORM. THE WORK AGREEMENT SHALL BE BETWEEN THE SELECTED CONTRACTOR AND THE PROJECT OWNER. THE OWNER HAS RETAINED THE SERVICES OF WAS DESIGN, INC. TO ASSIST IN CONSTRUCTION OBSERVATION AND CONTRACT ADMINISTRATION.

Sheet List Table

Sheet Number	Sheet Title
△ CS100	COVER SHEET
EC 100	EXISTING CONDITIONS
LD100	DEMOLITION PLAN
△ BM100	BEST MANAGEMENT PRACTICES
LS100	SITE PLAN
LG100	LANDSCAPE GRADING PLAN
LH100	HARDSCAPE PLAN
LH500	HARDSCAPE DETAILS
LH501	HARDSCAPE DETAILS
LH502	HARDSCAPE DETAILS
LH503	HARDSCAPE DETAILS
LH504	HARDSCAPE DETAILS
E100	ELECTRICAL LEGEND AND SPECIFICATIONS
E200	EXISTING OVERALL PLAN - ELECTRICAL
E201	ENLARGED EXISTING PLAN - ELECTRICAL
E300	NEW WORK OVERALL PLAN - ELECTRICAL
E301	ENLARGED NEW WORK PLAN - ELECTRICAL
E400	ELECTRICAL DETAILS
E401	ELECTRICAL DETAILS

GENERAL NOTES

BASE DATA NOTES
BASE PLAN DATA IS BASED ON THE BEST AVAILABLE AND PROVIDED DATA. MINOR FIELD ADJUSTMENTS ARE EXPECTED. MAJOR FIELD ADJUSTMENTS SHOULD BE APPROVED BY THE OWNER'S REPRESENTATIVE.

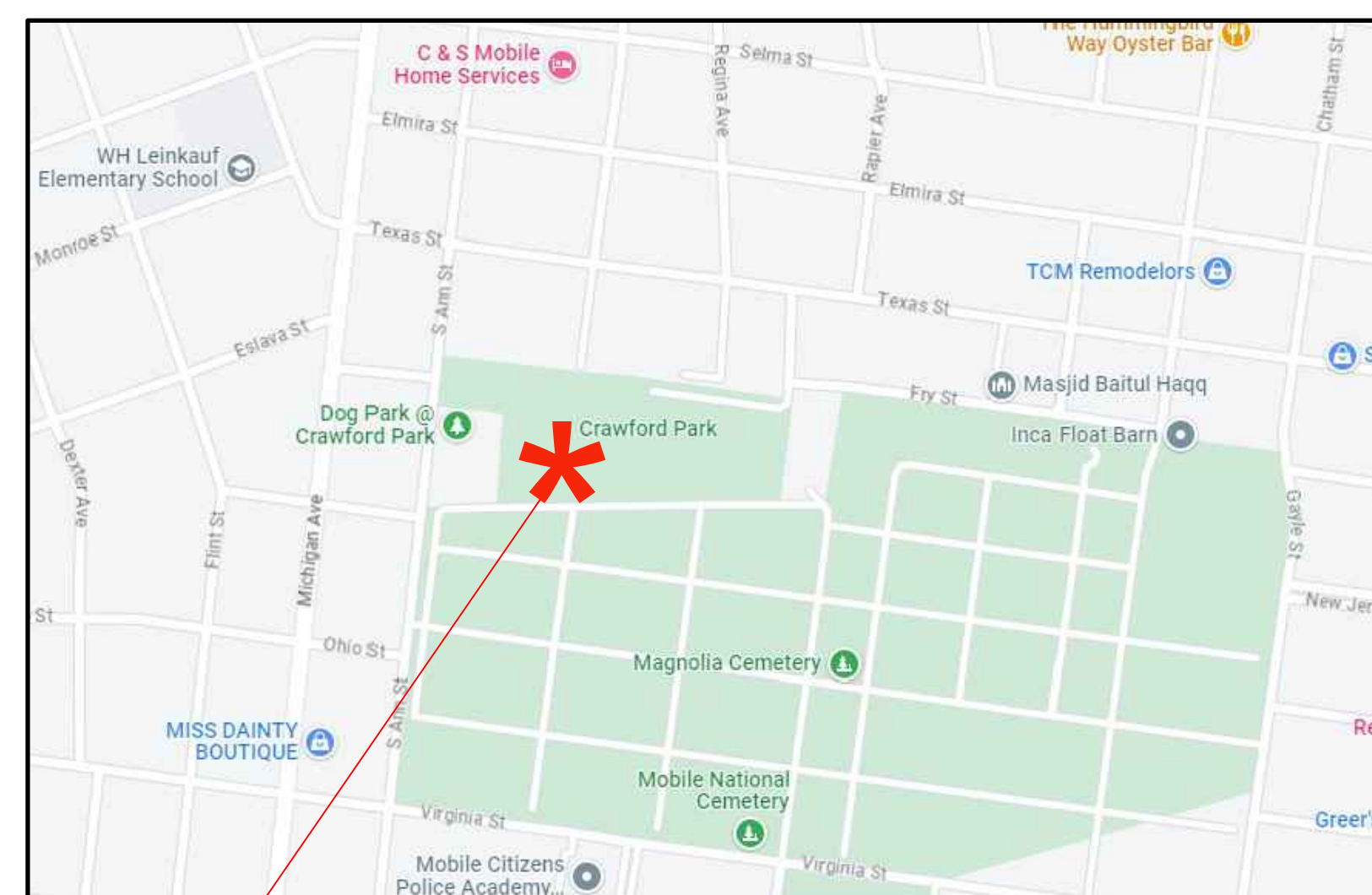
- CONSTRUCTION NOTES**
1. CONSTRUCTION STAKE-OUT IS THE RESPONSIBILITY OF THE CONTRACTOR. ELEMENTS ARE TO BE STAKED IN THE FIELD BY THE CONTRACTOR FOR REVIEW AND APPROVAL OF THE OWNER'S REPRESENTATIVE PRIOR TO COMMENCEMENT OF CONSTRUCTION. ANY CONFLICTS IN FIELD THAT MAY ARISE, CONTRACTOR IS TO MAKE BEST JUDGEMENT DURING FIELD STAKE-OUT & COORDINATE WITH OWNER'S REPRESENTATIVE/LA. FOR APPROVAL.
 2. ALL HARDSCAPE MATERIALS & COLORS ARE TO BE APPROVED BY OWNER.
 3. CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL UTILITIES PRIOR TO CONSTRUCTION. EXISTING UTILITIES TO REMAIN SHALL BE PROTECTED FROM CONSTRUCTION ACTIVITIES.
 4. CONTRACTOR SHALL STAGE CONSTRUCTION ACTIVITY IN SUCH A MANNER AS TO MINIMIZE THE AREA OF DISTURBED EARTH AT THE END OF EACH WORK DAY.

DISTURBED AREAS
AREAS DISTURBED BY CONSTRUCTION ACTIVITIES SHALL RECEIVE SOD OR MULCH AS NECESSARY AND SHOULD BE RETURNED TO 'BETTER THAN WHEN THE WORK STARTED' CONDITION.

QUANTITY TAKEOFF DISCLAIMER
QUANTITIES NOTED ON PLANS ARE OFFERED AS A CONVENIENCE TO THE CONTRACTOR FOR BID PURPOSES ONLY. CONTRACTOR SHALL VERIFY ALL QUANTITIES AND REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT.

ABBREVIATION LEGEND

ALUM	ALUMINUM	LP	LOW POINT
AC	ACRES	LT	LEFT
ACOMP	ASPHALT-COATED CORRUGATED METAL PIPE	LIN	LINEAR
ACP	ASBESTOS CEMENT PIPE	LF	LINEAR FEET
APPROX	APPROXIMATE(LY)	LC	LANDSCAPE CONTRACTOR
B&B	BALLED AND BURLAPPED	LA	LANDSCAPE ARCHITECT
BC	BOTTOM OF CURB	M	METER
BIT	BITUMINOUS	MAX	MAXIMUM
BM	BENCHMARK	MH	MANHOLE
BLDG	BUILDING	MIN	MINIMUM
BS	BOTTOM OF SLOPE	MISC	MISCELLANEOUS
BVC	BEGINNING OF VERTICAL CURVE	MON	MONUMENT
BW	BOTH WAYS	N	NORTH
CAL	CALIPER	NIC	NOT IN CONTRACT
CB	CATCH BASIN	NTS	NOT TO SCALE
CI	CAST IRON	NO	NUMBER
CIR	CIRCULAR	NOM	NOMINAL DIMENSION
CL	CENTERLINE	OC	ON CENTER
CLF	CHAIN-LINK FENCE	OD	OUTSIDE DIAMETER
CO	CLEANOUT	PA	PLANTING AREA
CM	CENTIMETER	PCP	POROUS CONCRETE PIPE
COMP	CORRUGATED METAL PIPE	PVC	POLYVINYL CHLORIDE PIPE
COL	COLUMN	PC	POINT OF CURVATURE
CONC	CONCRETE	PCC	POINT OF COMPOUND CURVATURE
CONTR	CONTRACTOR	PL	PROPERTY LINE
COR	CORNER	P-VC	POINT OF VERTICAL CURVATURE
C/S	CROSS SLOPE	PVT	TANGENT
C/W	CONNECTED WITH	PT	POINT OF TANGENT
CF	CUBIC FEET	R	RADIUS
CY	CUBIC YARD	RCP	REINFORCED CONCRETE PIPE
D	DEGREE OF CURVATURE	ROW	RIGHT OF WAY
DETL	DETAIL	RT	RIGHT
DMH	DROP MANHOLE	REQD	REQUIRED
DF	DRINKING FOUNTAIN	REV	REVISION
DIM	DIMENSION	REINF	REINFORCED
DIA	DIAMETER	SAN	SANITARY
DWG	DRAWING	SECT	SECTION
DEP	DEPARTURE	SH	SHEET
DIR	DIRECTED	SI	SOUTH
-E-	ELECTRICAL	SI	STORM INLET
E	EAST	-ST-	STORM SEWER
EA	EACH	-SAN-	SANITARY SEWER
EC	ELECTRICAL CONTRACTOR	SPEC	SPECIFICATIONS OR SPECIFIED
EL	ELEVATION	ST'L	STEEL
EAP	EXPOSED AGGREGATE PAVING	SQ	SQUARE
EVC	END OF VERTICAL CURVE	SF	SQUARE FOOT
ENGR	ENGINEER	SY	SQUARE YARD
EX	EXISTING	STA	STATION
EXP	EXPANSION	S/S	STAINLESS STEEL
EW	END WALL	-T-	TELEPHONE
ES	END SECTION	TC	TOP OF CURB
FFE	FINISHED FLOOR ELEVATION	TE	TAPERED END
FG	FINISHED GRADE	T&S	TERRA-COTTA PIPE
FIN	FINISH	TW	TONGUE AND GROOVE
FL	FLOOR	TS	TOP OF WALL
FH	FIRE HYDRANT	TWP	TOP OF SLOPE
FL	FLOW LINE	TYP	TOWNSHIP
FSD	FULL-SIZED DETAIL	UD	TYPICAL UNDERDRAIN
FTG	FOOTING	USGS	US GEOLOGICAL SURVEY
FT	FOOT OR FEET	VC	VERTICAL CURVE
GA	GAUGE	VAR	VARIABLE
-G-	GAS	VERT	VERTICAL
GAL	GALLON	VCP	VITRIFIED CLAY PIPE
CALV	GALVANIZED	-W-	WATER
GC	GENERAL CONTRACTOR	W	WEST
GR	GUARD RAIL	W/O	WITHOUT
GD	GRADE	W/M	WOVEN WIRE MESH
GV	GAS VALVE	WV	WATER VALVE
HB	HOSE BIB	YD	YARD DRAIN
HW	HEAD WALL		
HP	HIGH POINT		
HT	HEIGHT		
HOR	HORIZONTAL		
HWY	HIGHWAY		
ID	INSIDE DIAMETER		
IN	INCH	∅	ROUND DIAMETER
INL	INLET	⊙	AT
INV	INVERT	'	FEET
JB	JUNCTION BOX	"	INCHES
L	LENGTH OF CURVE	#1	NUMBER
LAT	LATITUDE	1#	POUND



SITE LOCATION MAP

800-292-8525
#DIG (Cellular)
Dig Safely.



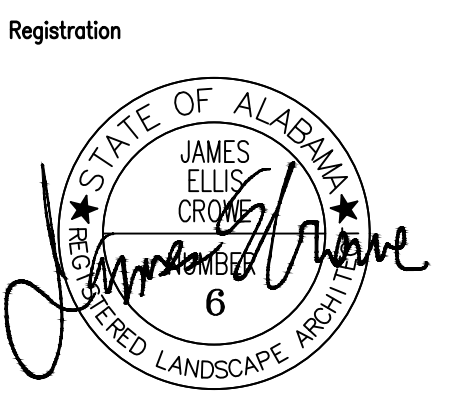
NOT FOR CONSTRUCTION
THESE PLANS HAVE NOT BEEN APPROVED AND ARE SUBJECT TO CHANGE.

A Landscape Development Plan for
Crawford-Murphy Park
New Pickleball & Tennis Courts
PR-035-23 Mobile, Alabama

No.	Date	Revisions / Submissions
	08.31.23	90% CLIENT REVIEW
	11.09.23	100% CD
1	11.13.23	ADDENDUM 2

© Copyright 2023 Was Design Inc. These documents and their contents are the property of WAS Design. Any reproductions, revisions, modifications or use of these documents without the express written consent of WAS Design is prohibited by law.

CW	Registration
Drawn	
DCT	
Project Manager	
JEC	
Principal	
236010-028	
Project No.	
06.04.23	
Date	

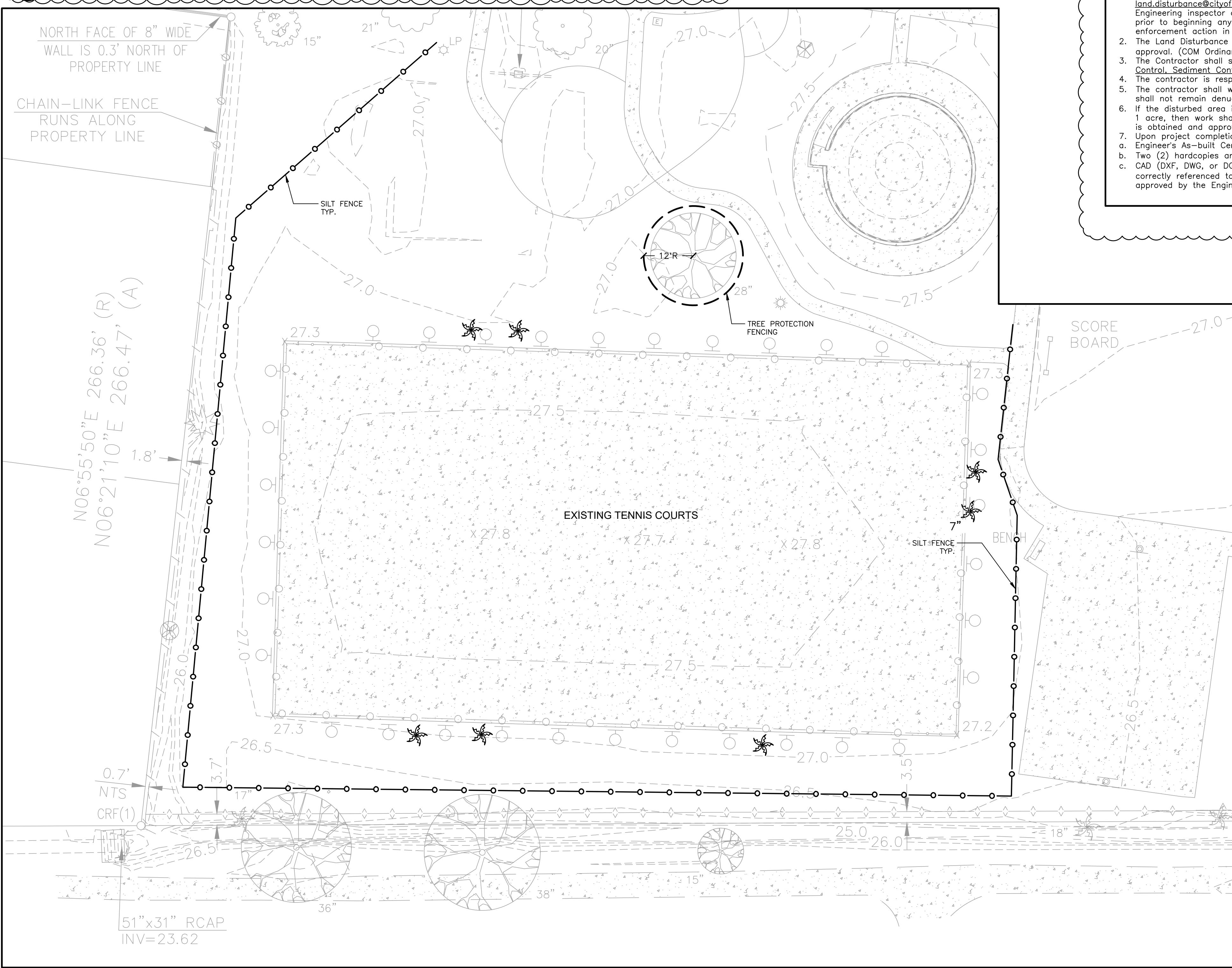
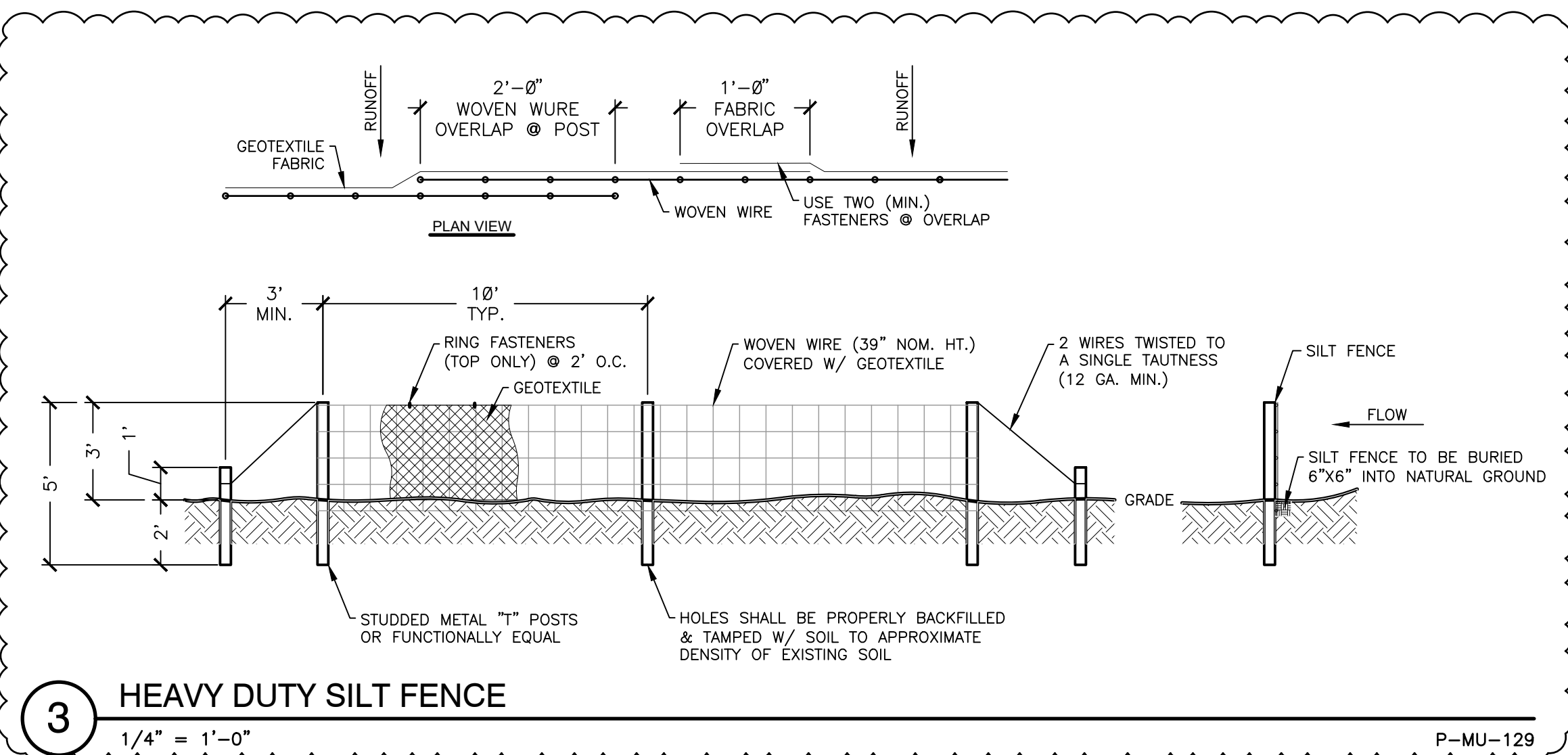


Sheet Title

COVER SHEET

Sheet No.

CS100



1 EROSION CONTROL PLAN
Scale: 1" = 20'

GENERAL NOTES

CONTRACTOR TO COORDINATE ALL WORK AS REQUIRED WITH THE UTILITY COMPANY AND SHALL INCLUDE ALL REQUIRED ASSOCIATED FEES IN THE BASE BID.

ALL DISTURBED AREAS NOT NOTED AS TO BE SODDED SHALL BE SODDED W/CENTPEDE SOD.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTING AND MAINTAINING ANY AND ALL NECESSARY ENVIRONMENTAL CONTROL MEASURES IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL LAWS AND REQUIREMENTS. THIS INCLUDES PROTECTION FROM CONCRETE SURFACE PREPARATIONS, EROSION AND SEDIMENT CONTROLS, AS WELL AS A RESULT FROM ANY OTHER CONSTRUCTION RELATED ACTIVITIES.

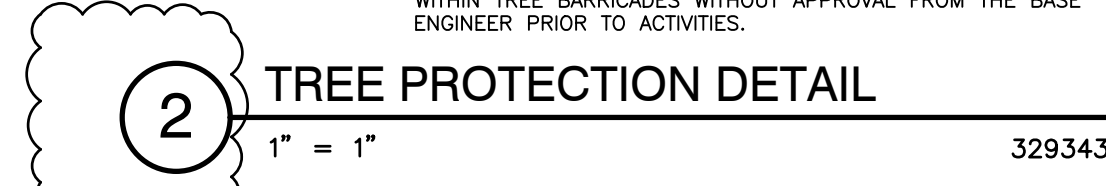
THE CONTRACTOR SHALL PROVIDE, INSTALL, AND MAINTAIN ALL TEMPORARY EROSION CONTROL MEASURES SHOWN ON THE DRAWINGS. MATS, HAY BALES, SILT FENCES AND OTHER APPROVED EROSION CONTROL DEVICES SHALL BE INSTALLED BY THE CONTRACTOR AND SHALL BE MAINTAINED THROUGHOUT THE COURSE OF THIS PROJECT. ADJUSTMENTS TO THE METHODS AND TYPES OF EROSION CONTROL WILL BE NECESSARY DURING THE CONSTRUCTION, AND IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE, INSTALL AND MAINTAIN THESE AS WELL. THE ARCHITECT SHALL APPROVE METHODS OF EROSION CONTROL. IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO SATISFY THEMSELVES THAT ALL FEDERAL, STATE AND LOCAL CODES AND ORDINANCES ARE ABIDED BY AT ALL TIMES DURING CONSTRUCTION. ADDITIONALLY, THE CONTRACTOR SHALL IMPLEMENT ANY AND ALL OTHER BEST MANAGEMENT PRACTICES APPLICABLE PER FEDERAL, STATE, COUNTY AND MUNICIPAL LAWS CONCERNING WATER POLLUTION.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTING ALL EROSION CONTROL BMPs AND FOR ALL SEDIMENT WITHIN AND LEAVING THE CONSTRUCTION SITE UNTIL THE PROJECT IS ACCEPTED BY THE ARCHITECT. SEVERE PENALTIES MAY BE IMPOSED TO ENSURE COMPLIANCE.

ALL PROJECTS AND CONSTRUCTION SITES SHALL BE IN ACCORDANCE WITH THE CLEAN WATER ACT; THE ALABAMA WATER POLLUTION CONTROL ACT; THE CURRENT VERSION OF THE ALABAMA HANDBOOK FOR EROSION CONTROL, SEDIMENT CONTROL AND STORMWATER MANAGEMENT ON CONSTRUCTION SITES AND URBAN AREAS.

ANY FINES, PENALTIES, OR JUDGMENTS ACCESSED TO THE CLIENT, ITS AGENTS OR REPRESENTATIVES DUE TO INADEQUATELY INSTALLED OR MAINTAINED EROSION CONTROL SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE ARCHITECT, ENGINEER, THE CLIENT, ITS AGENTS, OR REPRESENTATIVES FROM ALL CLAIMS RESULTING, ALL OR IN PART, FROM INADEQUATELY INSTALLED OR MAINTAINED EROSION CONTROLS.

- The contractor shall notify the City of Mobile Engineering Permitting Department via email at land.disturbance@cityofmobile.org a minimum of 24 hours prior to beginning any work on the site for assignment of the City Engineering Inspector and to schedule an initial on-site BMP inspection. Failure to contact the City Engineering department prior to beginning any work is a violation of the Storm Water Management and Flood Control Ordinance and may invoke enforcement action in the form of a Municipal Offense Ticket.
- The Land Disturbance Permit shall expire upon the completion of the work or not later than one (1) year from the date of approval. (COM Ordinance Ch. 17-6.A)
- The Contractor shall size, install, and maintain adequate controls for the site. Refer to the Alabama Handbook for Erosion Control, Sediment Control and Stormwater Management on Construction Sites and Urban Areas, latest edition.
- The contractor is responsible for daily inspection and continued maintenance of erosion control elements.
- The contractor shall work to minimize disturbed areas on the site as much as practically possible. Any disturbed area(s) shall not remain denuded longer than **10 days**.
- If the disturbed area increases during construction (i.e. the existing asphalt pavement is removed instead of overlaid) to over 1 acre, then work shall stop until an ADEM General Construction Permit and a City of Mobile TIER 1 Land Disturbance Permit is obtained and approved.
- Upon project completion, an as-built acceptance package shall be submitted to the City of Mobile including:
 - Engineer's As-built Certification for Commercial and Residential Site Work
 - Two (2) hardcopies and PDF of the **AS-BUILT** plans
 - CAD (DXF, DWG, or DGN) or GIS (SHP) file of the **AS-BUILT** plans showing all drainage and/or utility installations constructed correctly referenced to NAD83 Alabama State Plane Coordinate System (West Zone) in U.S. Survey feet OR in a format approved by the Engineering and GIS department compatible with the City of Mobile GIS system.



2 TREE PROTECTION DETAIL
1" = 1'

NOT FOR CONSTRUCTION
THESE PLANS HAVE NOT BEEN APPROVED AND ARE SUBJECT TO CHANGE.

A Landscape Development Plan for
Crawford-Murphy Park
New Pickleball & Tennis Courts
PR-035-23 Mobile, Alabama

Revisions		
No.	Date	Revisions / Submissions
	08.31.23	90% CLIENT REVIEW
	11.09.23	100% CD
1	11.13.23	ADDENDUM 2 ITEM 0.4

© Copyright 2023 WAS Design Inc. These documents and their contents are the property of WAS Design. Any reproductions, revisions, modifications or use of these documents without the express written consent of WAS Design is prohibited by law.

CW	Registration
Drawn	
DCT	
Project Manager	
JEC	
Principal	
236010-028	
Project No.	
06.04.23	
Date	